

BASIX[®]Certificate

Building Sustainability Index www.basix.nsw.gov.au

Multi Dwelling

Certificate number: 1217242M

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au




Secretary

Date of issue: Thursday, 24 June 2021

To be valid, this certificate must be lodged within 3 months of the date of issue.



Planning,
Industry &
Environment

Project summary		
Project name	50 Wolseley Rd - DADA 2020/176/1.	
Street address	50 Wolseley Road Point Piper 2027	
Local Government Area	Woollahra Municipal Council	
Plan type and plan number	deposited 843341	
Lot no.	20	
Section no.	-	
No. of residential flat buildings	1	
No. of units in residential flat buildings	3	
No. of multi-dwelling houses	0	
No. of single dwelling houses	0	
Project score		
Water	 41	Target 40
Thermal Comfort	 Pass	Target Pass
Energy	 35	Target 35




Certificate Prepared by

Name / Company Name: Delisle Hunt Wood Pty Ltd

ABN (if applicable): 631934837

Description of project

Project address	
Project name	50 Wolseley Rd - DADA 2020/176/1.
Street address	50 Wolseley Road Point Piper 2027
Local Government Area	Woollahra Municipal Council
Plan type and plan number	deposited 843341
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Section no.	-
Project type	
No. of residential flat buildings	1
No. of units in residential flat buildings	3
No. of multi-dwelling houses	0
No. of single dwelling houses	0
Site details	
Site area (m ²)	833.30
Roof area (m ²)	215
Non-residential floor area (m ²)	0.0
Residential car spaces	3
Non-residential car spaces	0

Common area landscape		
Common area lawn (m²)	72.5	
Common area garden (m²)	140.0	
Area of indigenous or low water use species (m²)	80.0	
Assessor details		
Assessor number	20127	
Certificate number	0005807020	
Climate zone	56	
Ceiling fan in at least one bedroom	No	
Ceiling fan in at least one living room or other conditioned area	No	
Project score		
Water	 41	Target 40
Thermal Comfort	 Pass	Target Pass
Energy	 35	Target 35

Description of project

The tables below describe the dwellings and common areas within the project

Residential flat buildings - Building1, 3 dwellings, 5 storeys above ground

Dwelling no.	No. of bedrooms	Conditioned floor area (m²)	Unconditioned floor area (m²)	Area of garden & lawn (m²)	Indigenous species (min area m²)
1	1	92.7	5.6	10.7	4.0

Dwelling no.	No. of bedrooms	Conditioned floor area (m²)	Unconditioned floor area (m²)	Area of garden & lawn (m²)	Indigenous species (min area m²)
2	3	320.0	9.1	12.0	5.0

Dwelling no.	No. of bedrooms	Conditioned floor area (m²)	Unconditioned floor area (m²)	Area of garden & lawn (m²)	Indigenous species (min area m²)
3	1	124.8	10.9	18.5	5.0

Description of project

The tables below describe the dwellings and common areas within the project

Common areas of unit building - Building1

Common area	Floor area (m ²)
Garage	68.0
Community room	31.7
LobbyLevel 2	7.8

Common area	Floor area (m ²)
Lift car (No.1)	-
Common Pool access	4.5
Lobby Level 3	7.0

Common area	Floor area (m ²)
Lift motor room	4.5
Lobby Level 1	6.6
Lobby Level 4	7.8

Common areas of the development (non-building specific)

Common area	Floor area (m ²)
Boatshed/Pool bathroom	17.65

Schedule of BASIX commitments

1. Commitments for Residential flat buildings - Building1

(a) Dwellings

- (i) Water
- (ii) Energy
- (iii) Thermal Comfort

(b) Common areas and central systems/facilities

- (i) Water
- (ii) Energy

2. Commitments for multi-dwelling houses

3. Commitments for single dwelling houses

4. Commitments for common areas and central systems/facilities for the development (non-building specific)

- (i) Water
- (ii) Energy

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

1. Commitments for Residential flat buildings - Building1

(a) Dwellings

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	✓	✓	
(c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.		✓	✓
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		✓	✓
(e) The applicant must install:			
(aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and		✓	✓
(bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.		✓	✓
(e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	✓	✓	
(f) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		✓	
(g) The pool or spa must be located as specified in the table.	✓	✓	
(h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	✓	✓	✓

Dwelling no.	Fixtures					Appliances		Individual pool				Individual spa		
	All shower-heads	All toilet flushing systems	All kitchen taps	All bathroom taps	HW recirculation or diversion	All clothes washers	All dish-washers	Volume (max volume)	Pool cover	Pool location	Pool shaded	Volume (max volume)	Spa cover	Spa shaded
3	4 star (> 6 but <= 7.5 L/min)	4 star	5 star	5 star	no	-	4.5 star	-	-	-	-	9.0	yes	no
All other dwellings	4 star (> 6 but <= 7.5 L/min)	4 star	5 star	5 star	no	-	4.5 star	-	-	-	-	-	-	-

Dwelling no.	Alternative water source							
	Alternative water supply systems	Size	Configuration	Landscape connection	Toilet connection (s)	Laundry connection	Pool top-up	Spa top-up
All dwellings	central water tank (no. 1)	See central systems	See central systems	yes	yes	yes	-	-
None	-	-	-	-	-	-	-	-

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.	✓	✓	✓
(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.		✓	✓
(d) The applicant must install the cooling and heating system/s specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, in/for at least 1 living/bedroom area of the dwelling. If no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for day/night zoning between living areas and bedrooms.		✓	✓

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting.		✓	✓
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.	✓	✓	✓
(g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must: (aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and (bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.		✓ ✓	
(h) The applicant must install in the dwelling: (aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below; (bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and (cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.		✓ ✓ ✓	✓
(i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".		✓	

	Hot water	Bathroom ventilation system		Kitchen ventilation system		Laundry ventilation system	
Dwelling no.	Hot water system	Each bathroom	Operation control	Each kitchen	Operation control	Each laundry	Operation control
All dwellings	central hot water system 1	individual fan, ducted to façade or roof	manual on / timer off	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual on / timer off

Dwelling no.	Cooling		Heating		Artificial lighting						Natural lighting	
	living areas	bedroom areas	living areas	bedroom areas	No. of bedrooms &/or study	No. of living &/or dining rooms	Each kitchen	All bathrooms/toilets	Each laundry	All hallways	No. of bathrooms &/or toilets	Main kitchen
1	1-phase airconditioning EER 3.5 - 4.0	1-phase airconditioning EER 3.5 - 4.0	gas hydronic system	gas hydronic system	1 (dedicated)	1 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	1	no
2	1-phase airconditioning EER 3.5 - 4.0	1-phase airconditioning EER 3.5 - 4.0	gas hydronic system	gas hydronic system	3 (dedicated)	3 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	1	no
All other dwellings	1-phase airconditioning EER 3.5 - 4.0	1-phase airconditioning EER 3.5 - 4.0	gas hydronic system	gas hydronic system	1 (dedicated)	1 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	1	yes

Dwelling no.	Individual pool		Individual spa		Appliances & other efficiency measures							
	Pool heating system	Timer	Spa heating system	Timer	Kitchen cooktop/oven	Refrigerator	Well ventilated fridge space	Dishwasher	Clothes washer	Clothes dryer	Indoor or sheltered clothes drying line	Private outdoor or unsheltered clothes drying line
3	-	-	solar (gas boosted)	yes	gas cooktop & electric oven	-	no	4.5 star	-	-	yes	no
All other dwellings	-	-	-	-	gas cooktop & electric oven	-	no	4.5 star	-	-	yes	no

(iii) Thermal Comfort	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development.			
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			

(iii) Thermal Comfort	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.			
(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.	✓		
(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.		✓	
(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
(g) Where there is an in-slab heating or cooling system, the applicant must: (aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or (bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.	✓	✓	✓
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.	✓	✓	✓

	Thermal loads	
Dwelling no.	Area adjusted heating load (in mJ/m ² /yr)	Area adjusted cooling load (in mJ/m ² /yr)
1	36.1	21.5
2	41.7	25.5
All other dwellings	34.0	29.2

(b) Common areas and central systems/facilities

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✓	✓
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✓	✓	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✓	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✓	✓
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✓	✓

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	4 star (> 6 but <= 7.5 L/min)	4 star	5 star	no common laundry facility

Central systems	Size	Configuration	Connection (to allow for...)
Central water tank - rainwater or stormwater (No. 1)	6000.0	To collect run-off from at least: - 150.0 square metres of roof area of buildings in the development - 0.0 square metres of impervious area in the development - 0.0 square metres of garden/lawn area in the development - 0.0 square metres of planter box area in the development (excluding, in each case, any area which drains to, or supplies, any other alternative water supply system).	- irrigation of 200.0 square metres of common landscaped area on the site - car washing in 0 car washing bays on the site

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✓	✓
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✓	✓
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓	✓	✓

Common area	Common area ventilation system		Common area lighting		
	Ventilation system type	Ventilation efficiency measure	Primary type of artificial lighting	Lighting efficiency measure	Lighting control system/BMS
Garage	no mechanical ventilation	-	light-emitting diode	motion sensors	No
Lift car (No.1)	-	-	light-emitting diode	connected to lift call button	No
Lift motor room	ventilation exhaust only	interlocked to light	light-emitting diode	motion sensors	No
Community room	no mechanical ventilation	-	light-emitting diode	manual on / timer off	No
Common Pool access	no mechanical ventilation	-	incandescent	motion sensors	No
Lobby Level 1	no mechanical ventilation	-	light-emitting diode	motion sensors	No
LobbyLevel 2	no mechanical ventilation	-	light-emitting diode	motion sensors	No
Lobby Level 3	no mechanical ventilation	-	light-emitting diode	motion sensors	No
Lobby Level 4	no mechanical ventilation	-	light-emitting diode	daylight sensors	No

Central energy systems	Type	Specification
Central hot water system (No. 1)	solar - gas boosted	Solar collector area (minimum, in square metres): 8.0 Piping insulation (ringmain & supply risers): (a) Piping external to building: R0.75 (~32 mm); (b) Piping internal to building: R0.75 (~32 mm)
Lift (No. 1)	hydraulic	Number of levels (including basement): 4

4. Commitments for common areas and central systems/facilities for the development (non-building specific)

(b) Common areas and central systems/facilities

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✓	✓
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✓	✓	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✓	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✓	✓
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✓	✓

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	4 star (> 6 but <= 7.5 L/min)	4 star	5 star	no common laundry facility

Central systems	Size	Configuration	Connection (to allow for...)
Pool (No. 1)	Volume: 49.0 kLs	Location: Other Pool shaded: no	-

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✓	✓

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✓	✓
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓	✓	✓

Common area	Common area ventilation system		Common area lighting		
	Ventilation system type	Ventilation efficiency measure	Primary type of artificial lighting	Lighting efficiency measure	Lighting control system/BMS
Boatshed/Pool bathroom	ventilation exhaust only	time clock or BMS controlled	light-emitting diode	manual on / timer off	No

Central energy systems	Type	Specification
Alternative energy supply	Photovoltaic system	Rated electrical output (min): 5.5 peak kW
Pool (No. 1)	Heating source: no heating	Pump controlled by timer: yes
Other	Common area clothes drying line installed?: yes	-

Notes

1. In these commitments, "applicant" means the person carrying out the development.
2. The applicant must identify each dwelling, building and common area listed in this certificate, on the plans accompanying any development application, and on the plans and specifications accompanying the application for a construction certificate / complying development certificate, for the proposed development, using the same identifying letter or reference as is given to that dwelling, building or common area in this certificate.
3. This note applies if the proposed development involves the erection of a building for both residential and non-residential purposes (or the change of use of a building for both residential and non-residential purposes). Commitments in this certificate which are specified to apply to a "common area" of a building or the development, apply only to that part of the building or development to be used for residential purposes.
4. If this certificate lists a central system as a commitment for a dwelling or building, and that system will also service any other dwelling or building within the development, then that system need only be installed once (even if it is separately listed as a commitment for that other dwelling or building).
5. If a star or other rating is specified in a commitment, this is a minimum rating.
6. All alternative water systems to be installed under these commitments (if any), must be installed in accordance with the requirements of all applicable regulatory authorities. NOTE: NSW Health does not recommend that stormwater, recycled water or private dam water be used to irrigate edible plants which are consumed raw, or that rainwater be used for human consumption in areas with potable water supply.

Legend

1. Commitments identified with a "✔" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
2. Commitments identified with a "✔" in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
3. Commitments identified with a "✔" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled. (Note: a certifying authority must not issue an occupation certificate (either interim or final) for a building listed in this certificate, or for any part of such a building, unless it is satisfied that each of the commitments whose fulfilment it is required to monitor in relation to the building or part, has been fulfilled).

DRAWING LIST

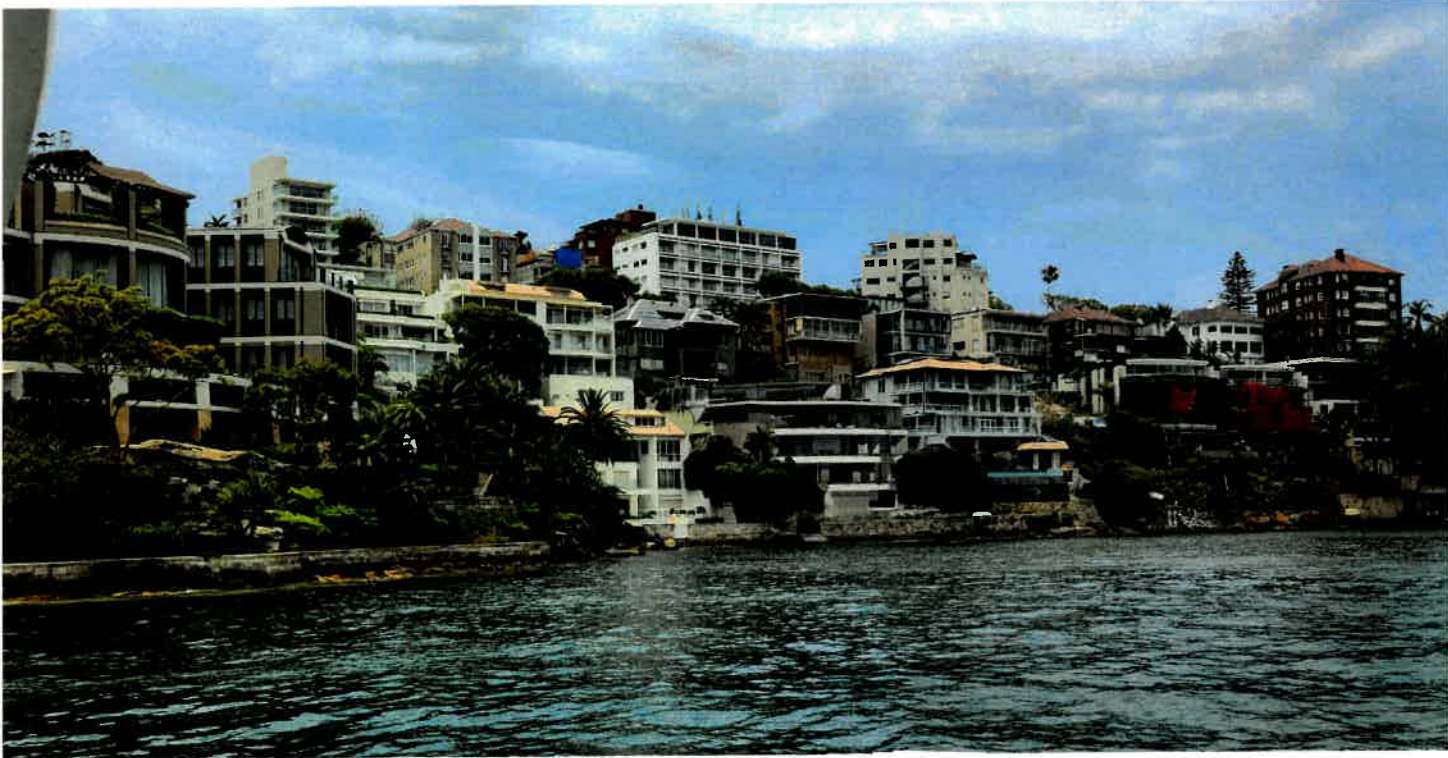
NO.	REV	NAME
DA000	D	TITLE PAGE
DA001	B	DEEP SOIL & EXCAVATION
DA002	B	GROSS FLOOR AREA
DA101	D	SITE PLAN / ROOF PLAN
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DA121	B	PHOTO MONTAGE - HARBOUR A
DA122	A	PHOTO MONTAGE - HARBOUR B
DA124	A	9.5m HEIGHT BLANKET
DA130	A	CONTEXT STUDY - 70 WOLSELEY ROAD
DA131	A	SURVEY - 70 WOLSELEY ROAD
DA132	A	CONTEXT STUDY - 106 WOLSELEY ROAD
DA133	A	SURVEY - 106 WOLSELEY ROAD
DA134	A	CONTEXT STUDY - 110 WOLSELEY ROAD
DA135	A	SURVEY - 110 WOLSELEY ROAD
DA136	A	CONTEXT STUDY - 112 WOLSELEY ROAD
DA137	A	SURVEY - 112 WOLSELEY ROAD
DA138	A	50 WOLSELEY ROAD
DA201	A	POOL AND PLANT SPACE
DA202	A	UNIT 1
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DA204	D	UNIT 2 - UPPER LEVEL
DA205	B	UNIT 3
DA206	A	ENTRY LEVEL PLAN
DA301	D	NORTH ELEVATION
DA302	C	EAST ELEVATION & STREET LEVEL ELEVATION
DA303	B	SOUTH ELEVATION
DA304	D	WEST ELEVATION
DA321	C	SECTION - AA
DA322	A	SECTION - BB
DA323	A	SIGHT LINE ANALYSIS
DA324	A	HEIGHT PLANE ANALYSIS
DA325	A	MAXIMUM BUILDING HEIGHT ANALYSIS
DA333	B	ROW DRIVEWAY LONGITUDINAL SECTION
DA334	B	ROW DRIVEWAY PLAN
DA336		VIEW GAIN/ LOSS ANALYSIS WITH REDUCTION TO UNIT 3
DA338		SITE SURVEY

LIST OF AMENDMENTS, 2021/03.05

- 1.A
- REMOVAL OF PROPOSED DOOR/WINDOW
- 1.B
- PROPOSED DOORS/WINDOWS
2.
- 8m² UNIT STORAGE AS PER DCP CONTROL B.3.7.3 O2
3.
- EXTERNAL DRYING AREA AS PER DCP B3.7.3 O3/O4
4.
- LOCKABLE MAIL BOXES AS PER DCP B3.7.3 O1
5.
- REINSTATEMENT OF EXISTING WOLSELEY RD GATE HOUSE.
6.
- PRIVATE OPEN SPACE AS PER DCP B.3.7.1 O5
7.
- CORRECT ANNOTATION OF FRONT DOOR TO UNIT 3
8.
- PROPOSED TRAFFIC MIRROR
9.
- NEW EXTERNAL STAIR TO UNIT 3
10.
- LOWER ROOF OF STAIRCASE BY 1m
11.
- DELETED FEATURE CURVED WALL & ROOF ADJACENT TO LIFT & STAIR
12.
- DELETED FEATURE WALL. GLAZING & ROOF LINE MOVED BACK
13.
- DRIVEWAY WIDENED

STAFFORD

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50 WOLSELEY ROAD, POINT PIPER
DEVELOPMENT APPLICATION

DEVELOPMENT APPLICATION
TITLE PAGE

GENERAL NOTES

Do not scale from drawings. All dimensions are to be checked on site before commencement of work. All discrepancies to be brought to the attention of the project architect. Larger scale drawings and written dimensions take preference. This drawing is copyright and the property of the author, it must not be retained, copied or used without the express authority of Stafford Architecture Pty Ltd.
ACN 097684527 | Nom. Architect: Bruce Stafford - 7155

THERMAL COMFORT REQUIREMENTS
50 WOLSELEY RD POINT PIPER
Rev A 19/03/2021

UNIT 1

External Walls - existing 270 cavity brickwork light coloured render externally, render internally then lined internally with 25 mm PIR board prefixed to plasterboard
Internal walls - 110 & 270 brickwork render both sides, -190 th. concrete block, render one side to lift core
Ceilings - plasterboard
Floors - concrete with timber and tiles with R1.0 insulation under slab where above void below and R1.0 slab edge insulation to all slabs on ground where underfloor heating is installed.
Windows - all sliding doors, fixed and double hung windows to be aluminium framed double glazed with U value ≤ 4.8 SHGC = 0.59 (±10%)
- glazed hinged door to Laundry to be aluminium framed double glazed with U value ≤ 4.8 SHGC = 0.51 (±10%)
- All external doors and windows to be fitted with draught excluding weather stripping

General - Insulation, services and sealing of the building to be in accordance with BCA NSW 3.12 Rating has assumed sealed downlights. A revised rating may be required when lighting layouts are determined to confirm compliance with BCA 3.12.1.2 (e) All exhaust fans to be max. 200 dia. sealed or fitted with dampers and exhaust through walls or roof

UNIT 2

External Walls - existing 270 cavity brickwork light coloured render externally, render internally - new 270 cavity brickwork light coloured render externally, render internally, light coloured with 25mm foil faced PIR board on inside face of cavity.
Internal walls - existing 300 thick concrete wall with glass inserts - 110 & 270 brickwork render both sides, -190 th. concrete block, render one side one side to lift core
Roof - Concrete with WPM with light coloured pebbles or tiles with R3 extruded polystyrene insulation above slab
Ceilings - plasterboard
Floors - concrete with timber and tiles R1.0 slab edge insulation to all slabs on ground where underfloor heating is installed.
Windows - fixed glass to concrete wall to ensuite equivalent to single clear glass U value ≤ 5.4 SHGC = 0.58 (±10%)
- all sliding doors, fixed and double hung windows to be aluminium framed single glazed with high solar gain Low E single glazing U value ≤ 5.4 SHGC = 0.58 (±10%)
All external doors and windows to be fitted with draught excluding weather stripping

General - Insulation, services and sealing of the building to be in accordance with BCA NSW 3.12 Rating has assumed sealed downlights. A revised rating may be required when lighting layouts are determined to confirm compliance with BCA 3.12.1.2 (e) All exhaust fans to be max. 200 dia. sealed or fitted with dampers and exhaust through walls or roof

UNIT 3

External Walls - 270 cavity brickwork light coloured render externally, plasterboard internally, light coloured with 25mm foil faced PIR board on inside face of cavity.
Internal walls - existing 300 thick concrete wall - 110 & 270 brickwork render both sides, joinery panels and stud wall
Roof - Concrete with WPM with light coloured pebbles or tiles with R3 extruded polystyrene insulation above slab
Ceilings - plasterboard
Floors - concrete with timber and tiles
Windows - fixed glass to concrete wall to ensuite equivalent to single clear glass U value ≤ 5.4 SHGC = 0.58 (±10%)
- all sliding doors, fixed and double hung windows to be aluminium framed single glazed with high solar gain Low E single glazing U value ≤ 5.4 SHGC = 0.58 (±10%)
All external doors and windows to be fitted with draught excluding weather stripping
Skylights - aluminium framed double glazing clear glazing U value ≤ 4.22 SHGC = 0.72 (±10%)
- Skylight SK03 to kitchen to be 60% openable and fitted with 60% external shading, Skylight SK04 to Scullery to be 40% openable

General - Insulation, services and sealing of the building to be in accordance with BCA NSW 3.12 Rating has assumed sealed downlights. A revised rating may be required when lighting layouts are determined to confirm compliance with BCA 3.12.1.2 (e) All exhaust fans to be max. 200 dia. sealed or fitted with dampers and exhaust through walls or roof

BASIX REQUIREMENTS

WATER

Central rainwater tank of 6,000 litres with a roof catchment area of 150 m2 connected to irrigation system serving 200 m2 of landscaping and connected to private landscaping, toilets and laundry of all units

Common pool – max. 49 m² with no heating and pump controlled by timer
Private Spa to Unit 3 – max. 9 m² with cover and solar gas boosted heating.

ENERGY

Central hot water system of solar gas boosted connected to all units.
PV system - peak rated 5.5 kW
Lift to be hydraulic



PROJECT
50 WOLSELEY ROAD POINT PIPER

PROJECT NO. 181
STAGE DWG NO. DA000
REV D

DRAWING
TITLE PAGE

Drawn: JM
Checked: CT/BS
Scale: 1 : 200 @A3
Date: 2021/03/05



WHITE PAINT AND RENDER
EXTERNAL WALLS (EXISTING LEVELS)



DARK PAINT AND RENDER
EXTERNAL WALLS (NEW TOP LEVEL)



METAL VERTICAL SCREEN
EXTERIOR CLADDING



TIMBER BOARDS
FLOORING AND CEILINGS



CONCRETE FINS
EXTERIOR



STONE
TILE FLOORING



STONE CLADDING
EXTERNAL WALLS



GLASS
WINDOWS AND BALUSTRADES



PLANTERS
BUILDING FACADE



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DEVELOPMENT APPLICATION MATERIAL BOARD

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PROJECT
50 WOLSELEY ROAD POINT PIPER

DRAWING
MATERIAL BOARD

PROJECT NO. 181 STAGE DWG NO. DA120 REV A

Drawn: JM Scale: @A3
Checked: CT/BS Date: 2020/05/29

077

KEY

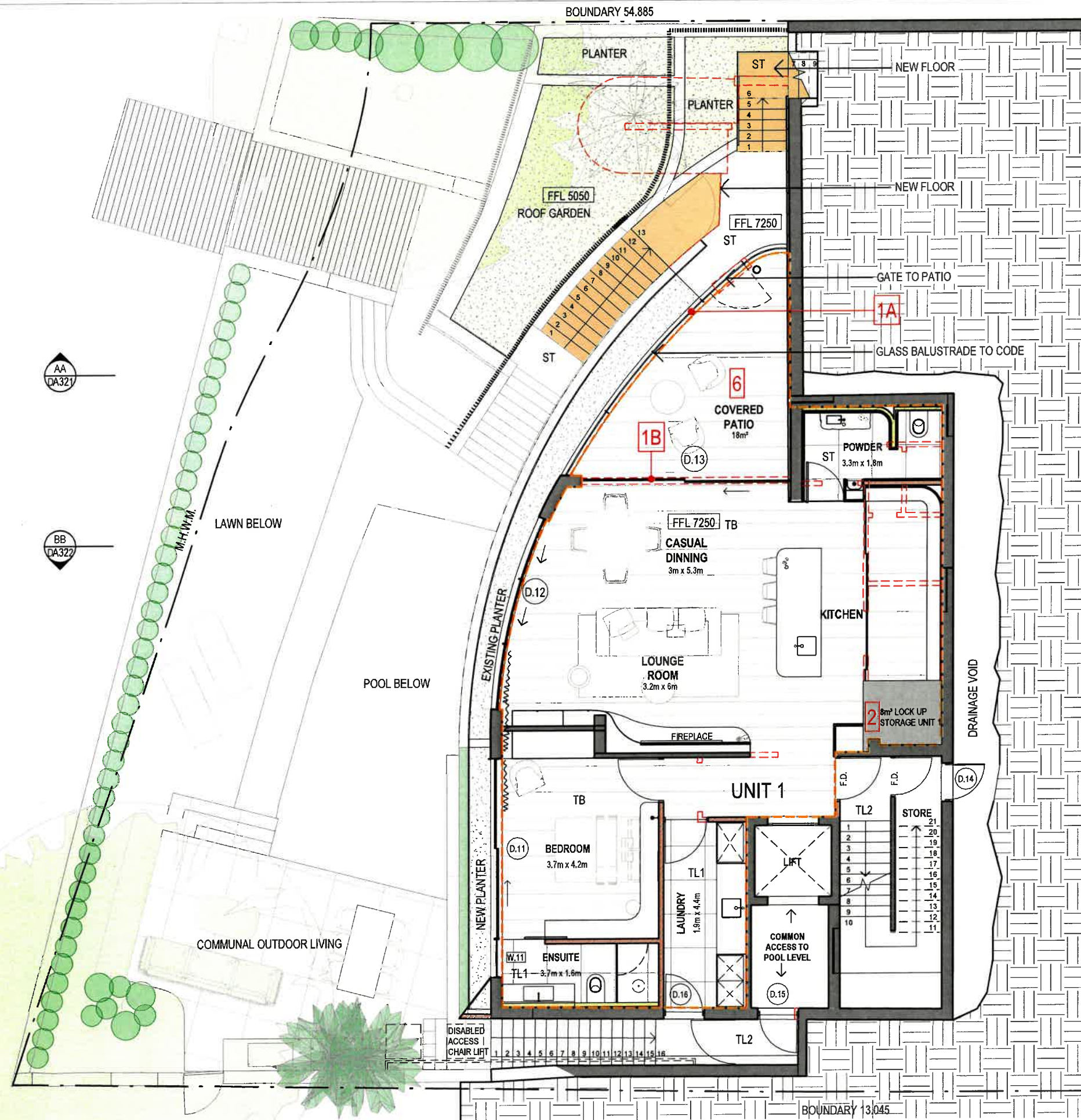
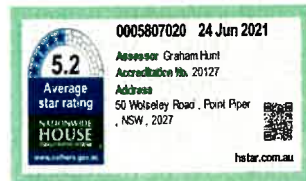
- BOUNDARY
- - - DEMOLITION OF EXISTING
- UNIT 1
- UNIT 2
- UNIT 3

MATERIALS

- EXISTING
- BRICK
- OFC / CONC - CONCRETE
- GL - GLASS (F) FIXED (O) OPERABLE
- MT - METAL
- ST - STONE
- TM - TIMBER
- R+(D) - RENDER & PAINT DARK
- R+(L) - RENDER & PAINT LIGHT

LIST OF AMENDMENTS, 2021/03/05

- 1.A REMOVAL OF PROPOSED DOOR/WINDOW
- 1.B PROPOSED DOORS/WINDOWS
2. 8m² UNIT STORAGE AS PER DCP CONTROL B.3.7.3 O2
3. EXTERNAL DRYING AREA AS PER DCP B.3.7.3 O3/O4
4. LOCKABLE MAIL BOXES AS PER DCP B.3.7.3 O1
5. REINSTATEMENT OF EXISTING WOLSELEY RD GATE HOUSE.
6. PRIVATE OPEN SPACE AS PER DCP B.3.7.1 O5
7. CORRECT ANNOTATION OF FRONT DOOR TO UNIT 3
8. PROPOSED TRAFFIC MIRROR
9. NEW EXTERNAL STAIR TO UNIT 3
10. LOWER ROOF OF STAIRCASE BY 1m
11. DELETED FEATURE CURVED WALL & ROOF ADJACENT TO LIFT & STAIR
12. DELETED FEATURE WALL. GLAZING & ROOF LINE MOVED BACK
13. DRIVEWAY WIDENED



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DEVELOPMENT APPLICATION
UNIT 1



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PROJECT
50 WOLSELEY ROAD POINT PIPER
DRAWING
UNIT 1

PROJECT NO. 181
STAGE DWG NO. DA202
REV A
Drawn: JM
Checked: CT/BS
Scale: As indicated @A3
Date: 2021/03/05

078

KEY

- BOUNDARY
- - - DEMOLITION OF EXISTING
- - - UNIT 1
- - - UNIT 2
- - - UNIT 3

MATERIALS

- EXISTING
- BRICK
- OFC / CONC - CONCRETE
- GL - GLASS (F) FIXED (O) OPERABLE
- MT - METAL
- ST - STONE
- TM - TIMBER
- R+P(D) - RENDER & PAINT DARK
- R+P(L) - RENDER & PAINT LIGHT

LIST OF AMENDMENTS, 2021/03/05

- 1.A REMOVAL OF PROPOSED DOOR/WINDOW
- 1.B PROPOSED DOORS/WINDOWS
2. 8m³ UNIT STORAGE AS PER DCP CONTROL B.3.7.3 O2
3. EXTERNAL DRYING AREA AS PER DCP B.3.7.3 O3/O4
4. LOCKABLE MAIL BOXES AS PER DCP B.3.7.3 O1
5. REINSTATEMENT OF EXISTING WOLSELEY RD GATE HOUSE.
6. PRIVATE OPEN SPACE AS PER DCP B.3.7.1 O5
7. CORRECT ANNOTATION OF FRONT DOOR TO UNIT 3
8. PROPOSED TRAFFIC MIRROR
9. NEW EXTERNAL STAIR TO UNIT 3
10. LOWER ROOF OF STAIRCASE BY 1m
11. DELETED FEATURE CURVED WALL & ROOF ADJACENT TO LIFT & STAIR
12. DELETED FEATURE WALL, GLAZING & ROOF LINE MOVED BACK
13. DRIVEWAY WIDENED



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DEVELOPMENT APPLICATION
UNIT 2 - LOWER LEVEL



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PROJECT
50 WOLSELEY ROAD POINT PIPER

DRAWING
UNIT 2 - LOWER LEVEL

PROJECT NO. 181
STAGE DWG NO. DA203
REV B

Drawn: JM
Checked: CT/BS
Scale: As indicated @A3
Date: 2021/03/05

079

KEY

- BOUNDARY
- - - DEMOLITION OF EXISTING
- - - UNIT 1
- - - UNIT 2
- - - UNIT 3

MATERIALS

- EXISTING
- BRICK
- OFC / CONC - CONCRETE
- GL - GLASS (F) FIXED (O) OPERABLE
- MT - METAL
- ST - STONE
- TM - TIMBER
- R+P(D) - RENDER & PAINT DARK
- R+P(L) - RENDER & PAINT LIGHT

LIST OF AMENDMENTS, 2021/03/05

- 1.A REMOVAL OF PROPOSED DOOR/WINDOW
- 1.B PROPOSED DOORS/WINDOWS
2. 8m³ UNIT STORAGE AS PER DCP CONTROL B.3.7.3 O2
3. EXTERNAL DRYING AREA AS PER DCP B.3.7.3 O3/O4
4. LOCKABLE MAIL BOXES AS PER DCP B.3.7.3 O1
5. REINSTATEMENT OF EXISTING WOLSELEY RD GATE HOUSE, PRIVATE OPEN SPACE AS PER DCP B.3.7.1 O5
7. CORRECT ANNOTATION OF FRONT DOOR TO UNIT 3
8. PROPOSED TRAFFIC MIRROR
9. NEW EXTERNAL STAIR TO UNIT 3
10. LOWER ROOF OF STAIRCASE BY 1m
11. DELETED FEATURE CURVED WALL & ROOF ADJACENT TO LIFT & STAIR
12. DELETED FEATURE WALL, GLAZING & ROOF LINE MOVED BACK
13. DRIVEWAY WIDENED



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DEVELOPMENT APPLICATION UNIT 2 - UPPER LEVEL

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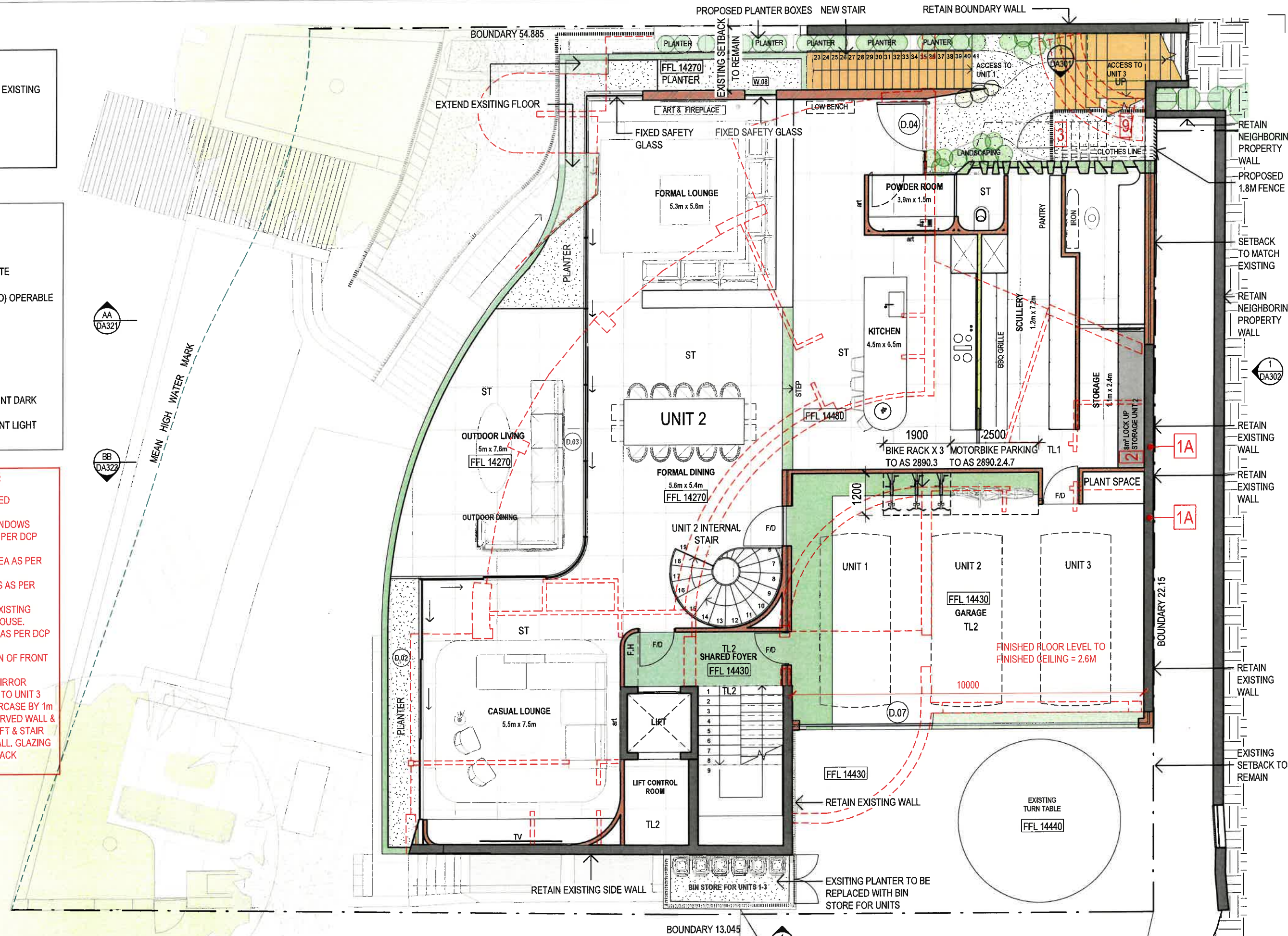
PROJECT
50 WOLSELEY ROAD POINT PIPER

DRAWING
UNIT 2 - UPPER LEVEL

PROJECT NO. 181
STAGE DWG NO. DA204
REV D

Drawn: JM
Checked: CT/BS
Scale: As Indicated @A3
Date: 2021/03/05

080



KEY

- BOUNDARY
- - - DEMOLITION OF EXISTING
- - - UNIT 1
- - - UNIT 2
- - - UNIT 3

MATERIALS

- EXISTING
- BRICK
- OFC / CONC - CONCRETE
- GL - GLASS (F) FIXED (O) OPERABLE
- MT - METAL
- ST - STONE
- TM - TIMBER
- R+P(D) - RENDER & PAINT DARK
- R+P(L) - RENDER & PAINT LIGHT

LIST OF AMENDMENTS, 2021/03/05

- 1.A REMOVAL OF PROPOSED DOOR/WINDOW
- 1.B PROPOSED DOORS/WINDOWS
2. 8m² UNIT STORAGE AS PER DCP CONTROL B.3.7.3 O2
3. EXTERNAL DRYING AREA AS PER DCP B.3.7.3 O3/O4
4. LOCKABLE MAIL BOXES AS PER DCP B.3.7.3 O1
5. REINSTATEMENT OF EXISTING WOLSELEY RD GATE HOUSE, PRIVATE OPEN SPACE AS PER DCP B.3.7.1 O5
6. CORRECT ANNOTATION OF FRONT DOOR TO UNIT 3
7. PROPOSED TRAFFIC MIRROR
8. NEW EXTERNAL STAIR TO UNIT 3
9. LOWER ROOF OF STAIRCASE BY 1m
10. DELETED FEATURE CURVED WALL & ROOF ADJACENT TO LIFT & STAIR
11. DELETED FEATURE WALL, GLAZING & ROOF LINE MOVED BACK
12. DRIVEWAY WIDENED
- 13.



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DEVELOPMENT APPLICATION UNIT 3

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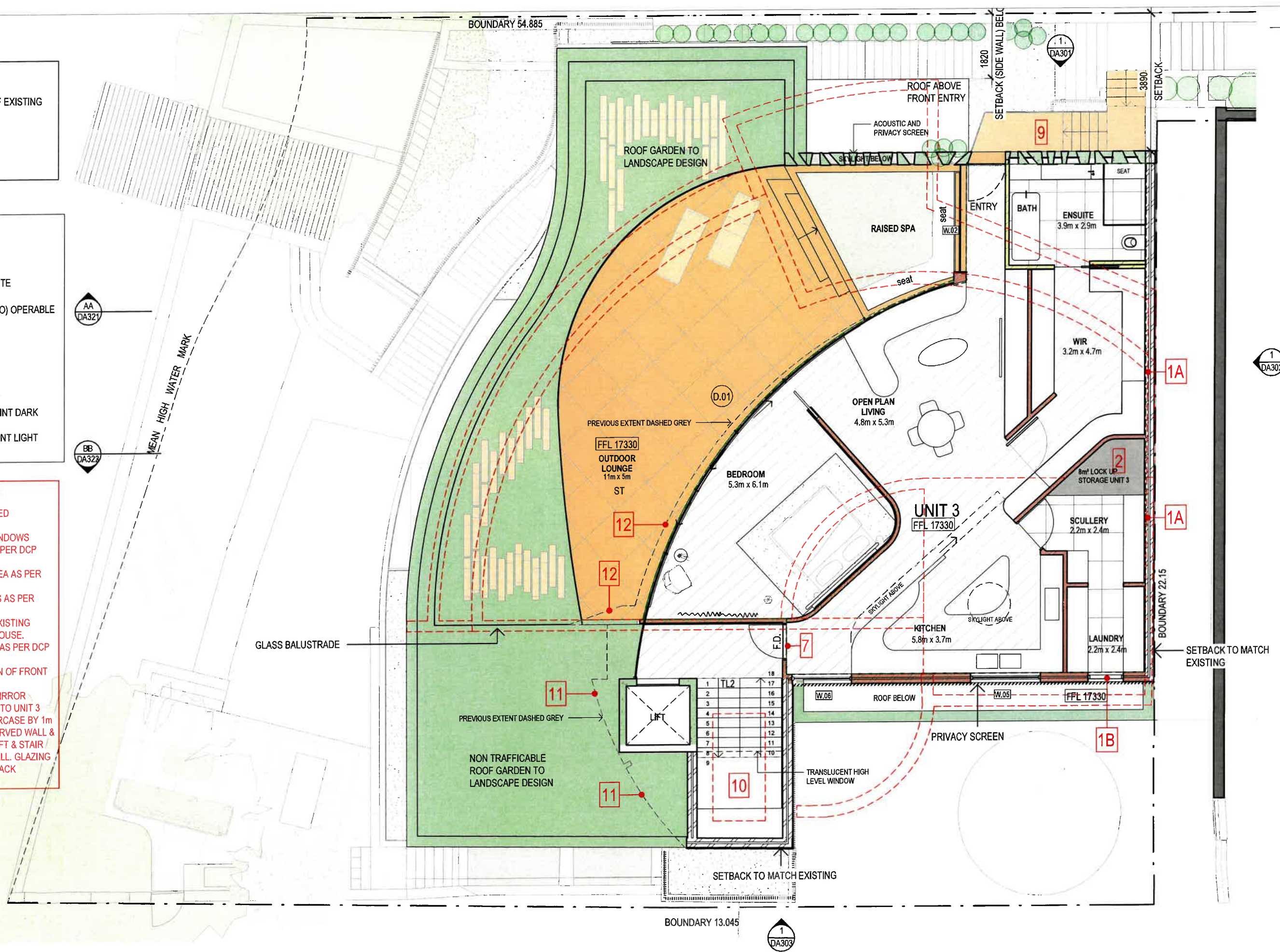
PROJECT
50 WOLSELEY ROAD POINT PIPER

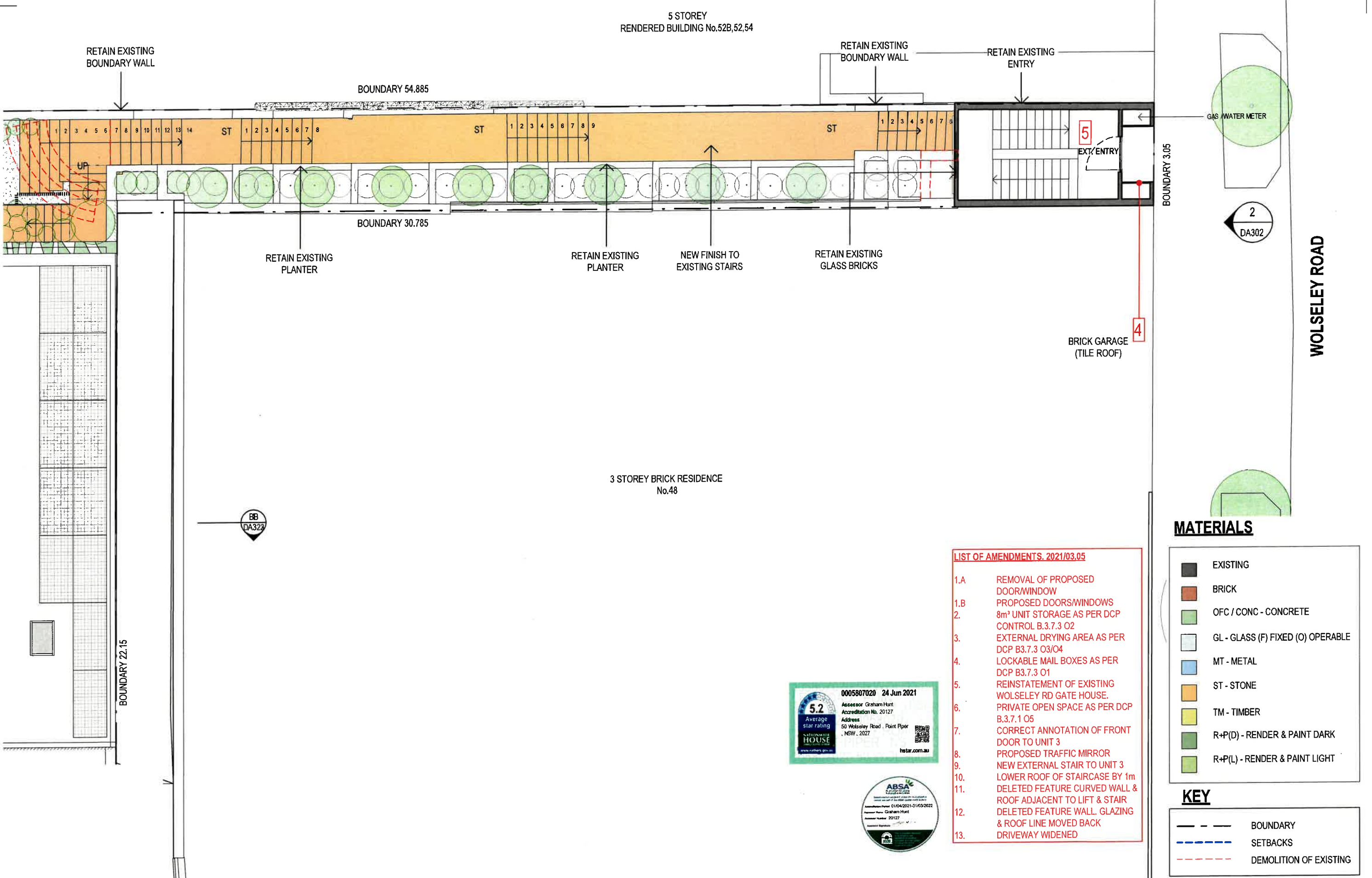
DRAWING
UNIT 3

PROJECT NO. 181
STAGE DWG NO. DA205
REV B

Drawn: JM
Checked: CT/BS
Scale: As Indicated @A3
Date: 2021/03/05

081

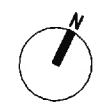




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DEVELOPMENT APPLICATION
ENTRY LEVEL PLAN



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- LIST OF AMENDMENTS. 2021/03/05**
- 1.A REMOVAL OF PROPOSED DOOR/WINDOW
 - 1.B PROPOSED DOORS/WINDOWS
 - 2. 8m² UNIT STORAGE AS PER DCP CONTROL B.3.7.3 O2
 - 3. EXTERNAL DRYING AREA AS PER DCP B.3.7.3 O3/O4
 - 4. LOCKABLE MAIL BOXES AS PER DCP B.3.7.3 O1
 - 5. REINSTATEMENT OF EXISTING WOLSELEY RD GATE HOUSE.
 - 6. PRIVATE OPEN SPACE AS PER DCP B.3.7.1 O5
 - 7. CORRECT ANNOTATION OF FRONT DOOR TO UNIT 3
 - 8. PROPOSED TRAFFIC MIRROR
 - 9. NEW EXTERNAL STAIR TO UNIT 3
 - 10. LOWER ROOF OF STAIRCASE BY 1m
 - 11. DELETED FEATURE CURVED WALL & ROOF ADJACENT TO LIFT & STAIR
 - 12. DELETED FEATURE WALL. GLAZING & ROOF LINE MOVED BACK
 - 13. DRIVEWAY WIDENED

MATERIALS

- EXISTING
- BRICK
- OFC / CONC - CONCRETE
- GL - GLASS (F) FIXED (O) OPERABLE
- MT - METAL
- ST - STONE
- TM - TIMBER
- R+P(D) - RENDER & PAINT DARK
- R+P(L) - RENDER & PAINT LIGHT

KEY

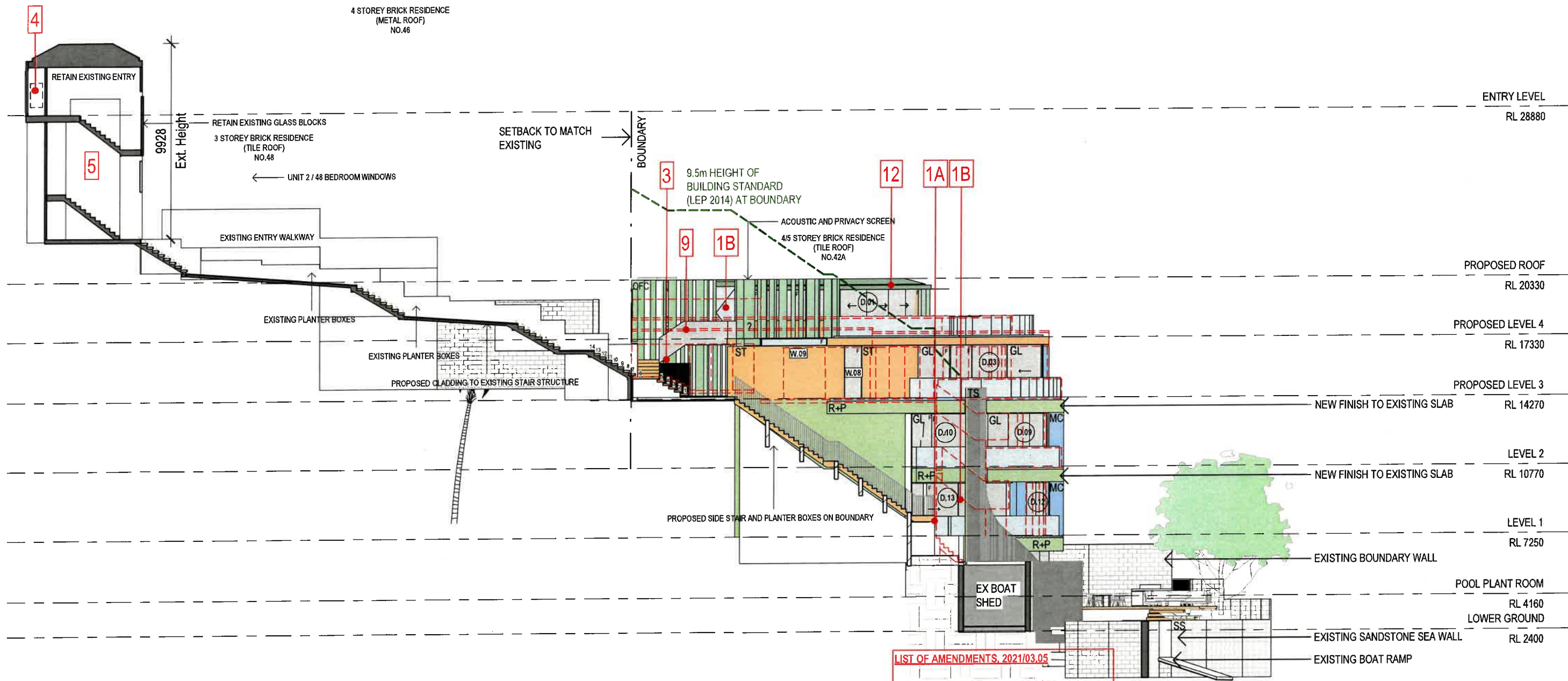
- BOUNDARY
- SETBACKS
- DEMOLITION OF EXISTING

PROJECT
50 WOLSELEY ROAD POINT PIPER

DRAWING
ENTRY LEVEL PLAN

PROJECT NO.	STAGE	DWG NO.	REV
181	DA206		A

Drawn: JM Scale: As indicated @A3
Checked: CT/BS Date: 2021/03/05



1 North Elevation 1:200

- LIST OF AMENDMENTS, 2021/03.05**
- 1.A REMOVAL OF PROPOSED DOOR/WINDOW
 - 1.B PROPOSED DOORS/WINDOWS
 - 2. 8m³ UNIT STORAGE AS PER DCP CONTROL B.3.7.3 O2
 - 3. EXTERNAL DRYING AREA AS PER DCP B.3.7.3 O3/O4
 - 4. LOCKABLE MAIL BOXES AS PER DCP B.3.7.3 O1
 - 5. REINSTATEMENT OF EXISTING WOLSELEY RD GATE HOUSE.
 - 6. PRIVATE OPEN SPACE AS PER DCP B.3.7.1 O5
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 - 13. DRIVEWAY WIDENED



KEY

- BOUNDARY
- SETBACKS
- DEMOLITION OF EXISTING
- MEAN HIGH WATER MARK

MATERIALS

- EXISTING
- BRICK
- OFC / CONC - CONCRETE
- GL - GLASS (F) FIXED (O) OPERABLE
- MT - METAL
- ST - STONE
- TM - TIMBER
- R+P(D) - RENDER & PAINT DARK
- R+P(L) - RENDER & PAINT LIGHT

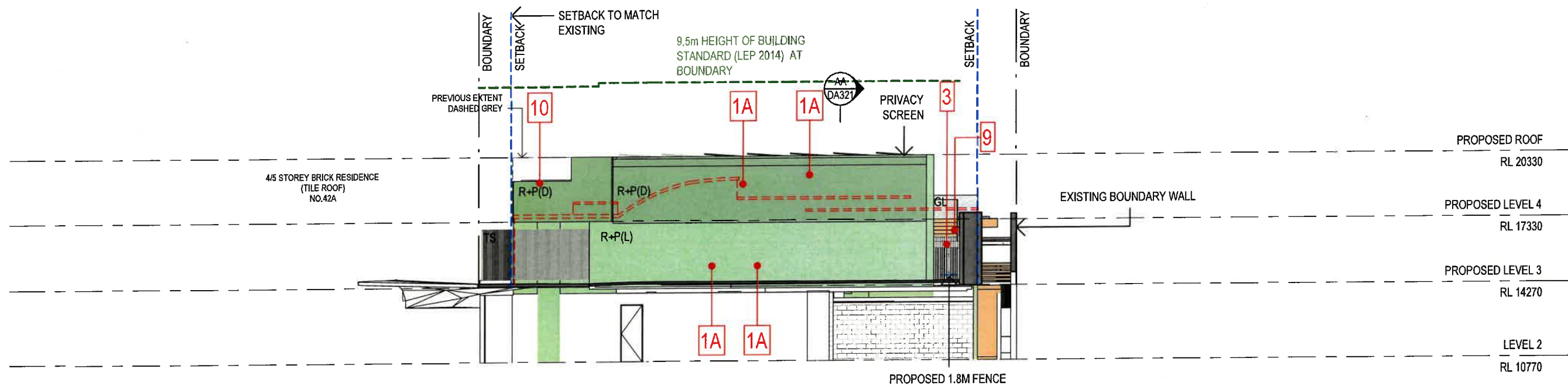
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DEVELOPMENT APPLICATION
NORTH ELEVATION

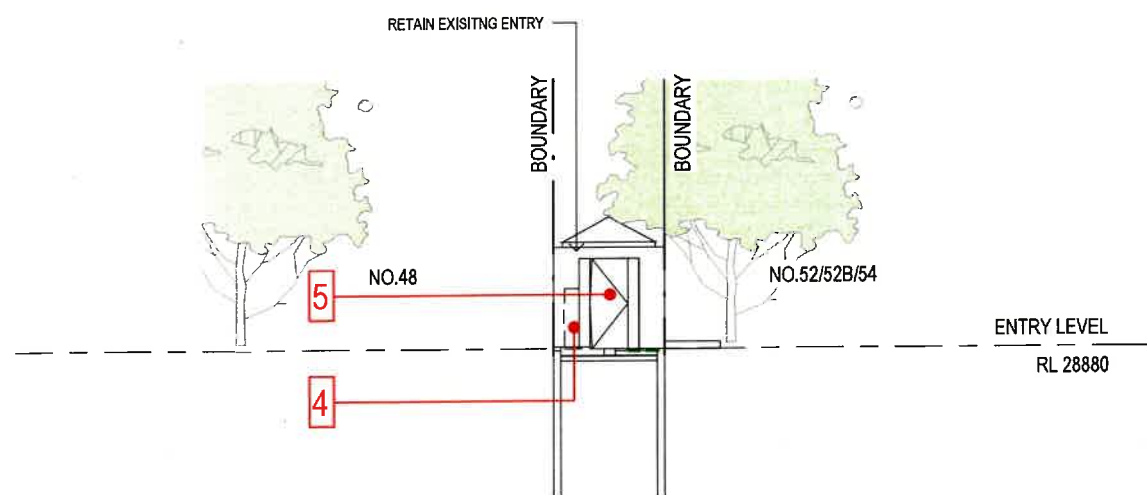
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PROJECT
50 WOLSELEY ROAD POINT PIPER
DRAWING
NORTH ELEVATION

PROJECT NO. 181
STAGE DWG NO. DA301
REV D
Drawn: JM
Checked: CT/BS
Scale: 1:200 @A3
Date: 2021/03/05



1 East Elevation 1:200



2 Street Level Elevation 1:200

- LIST OF AMENDMENTS, 2021/03/05**
- 1.A REMOVAL OF PROPOSED DOOR/WINDOW
 - 1.B PROPOSED DOORS/WINDOWS
 2. 8m² UNIT STORAGE AS PER DCP CONTROL B.3.7.3 O2
 3. EXTERNAL DRYING AREA AS PER DCP B.3.7.3 O3/O4
 4. LOCKABLE MAIL BOXES AS PER DCP B.3.7.3 O1
 5. REINSTATEMENT OF EXISTING WOLSELEY RD GATE HOUSE.
 6. PRIVATE OPEN SPACE AS PER DCP B.3.7.1 O5
 7. CORRECT ANNOTATION OF FRONT DOOR TO UNIT 3
 8. PROPOSED TRAFFIC MIRROR
 9. NEW EXTERNAL STAIR TO UNIT 3
 10. LOWER ROOF OF STAIRCASE BY 1m
 11. DELETED FEATURE CURVED WALL & ROOF ADJACENT TO LIFT & STAIR
 12. DELETED FEATURE WALL, GLAZING & ROOF LINE MOVED BACK
 13. DRIVEWAY WIDENED



MATERIALS

■	EXISTING
■	BRICK
■	OFC / CONC - CONCRETE
■	GL - GLASS (F) FIXED (O) OPERABLE
■	MT - METAL
■	ST - STONE
■	TM - TIMBER
■	R+P(D) - RENDER & PAINT DARK
■	R+P(L) - RENDER & PAINT LIGHT

KEY

---	BOUNDARY
---	SETBACKS
---	DEMOLITION OF EXISTING
---	MEAN HIGH WATER MARK

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DEVELOPMENT APPLICATION
EAST ELEVATION & STREET
LEVEL ELEVATION

GENERAL NOTES

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PROJECT

50 WOLSELEY ROAD POINT PIPER

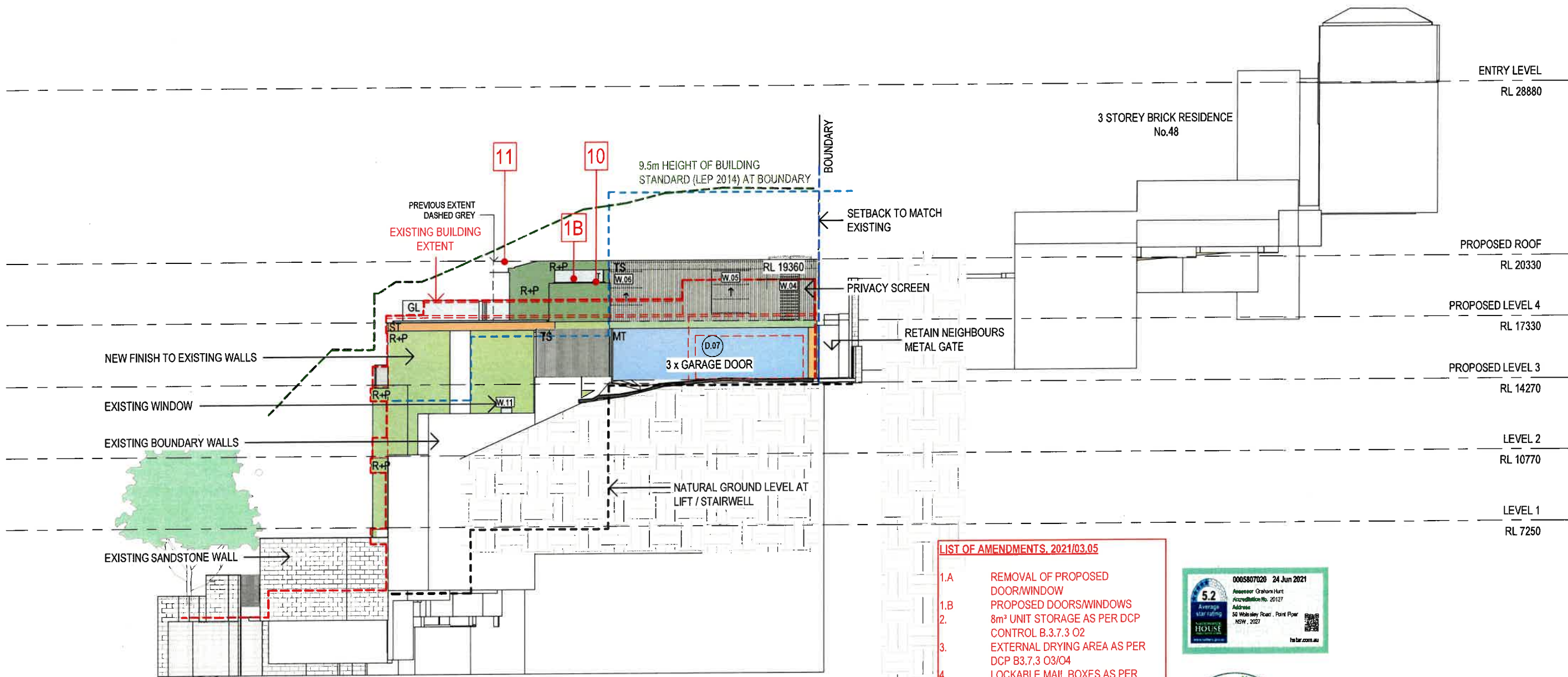
DRAWING

EAST ELEVATION & STREET LEVEL
ELEVATION

PROJECT NO. 181 STAGE DWG NO. DA302 REV C

Drawn: JM Scale: 1:200 @A3
Checked: CT/BS Date: 2021/03/05

084



1 South Elevation

1:200

LIST OF AMENDMENTS, 2021/03/05

- 1.A REMOVAL OF PROPOSED DOOR/WINDOW
- 1.B PROPOSED DOORS/WINDOWS
2. 8m² UNIT STORAGE AS PER DCP CONTROL B.3.7.3 O2
3. EXTERNAL DRYING AREA AS PER DCP B3.7.3 O3/O4
4. LOCKABLE MAIL BOXES AS PER DCP B3.7.3 O1
5. REINSTATEMENT OF EXISTING WOLSELEY RD GATE HOUSE.
6. PRIVATE OPEN SPACE AS PER DCP B.3.7.1 O5
7. CORRECT ANNOTATION OF FRONT DOOR TO UNIT 3
8. PROPOSED TRAFFIC MIRROR
9. NEW EXTERNAL STAIR TO UNIT 3
10. LOWER ROOF OF STAIRCASE BY 1m
11. DELETED FEATURE CURVED WALL & ROOF ADJACENT TO LIFT & STAIR
12. DELETED FEATURE WALL, GLAZING & ROOF LINE MOVED BACK
13. DRIVEWAY WIDENED



KEY

- BOUNDARY
- SETBACKS
- DEMOLITION OF EXISTING
- MEAN HIGH WATER MARK

MATERIALS

- EXISTING
- BRICK
- OFC / CONC - CONCRETE
- GL - GLASS (F) FIXED (O) OPERABLE
- MT - METAL
- ST - STONE
- TM - TIMBER
- R+P(D) - RENDER & PAINT DARK
- R+P(L) - RENDER & PAINT LIGHT

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DEVELOPMENT APPLICATION
SOUTH ELEVATION

GENERAL NOTES

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PROJECT

50 WOLSELEY ROAD POINT PIPER

DRAWING

SOUTH ELEVATION

PROJECT NO. STAGE DWG NO. REV

181 DA303 B

Drawn: JM Scale: 1:200 @A3
Checked: CT/BS Date: 2021/03/05

085

1 WEST ELEVATION

1 : 200

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DEVELOPMENT APPLICATION WEST ELEVATION

GENERAL NOTES

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PROJECT

50 WOLSELEY ROAD POINT PIPER

DRAWING

WEST ELEVATION

PROJECT NO. 181 STAGE DWG NO. DA304 REV D

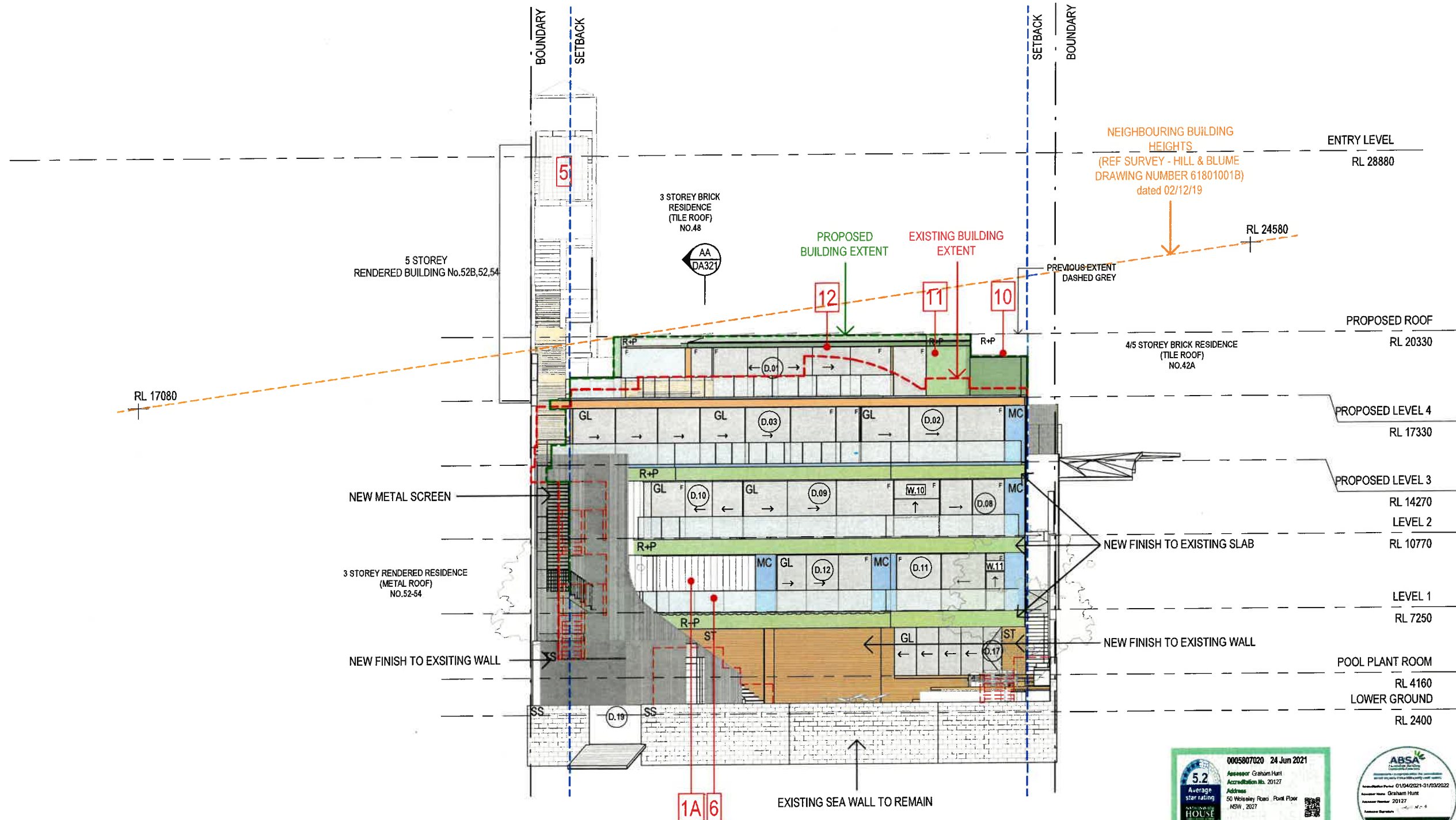
Drawn: JM Scale: 1 : 200 @A3
Checked: CT/BS Date: 2021/03/05

KEY

--- BOUNDARY
--- SETBACKS
--- DEMOLITION OF EXISTING
--- MEAN HIGH WATER MARK

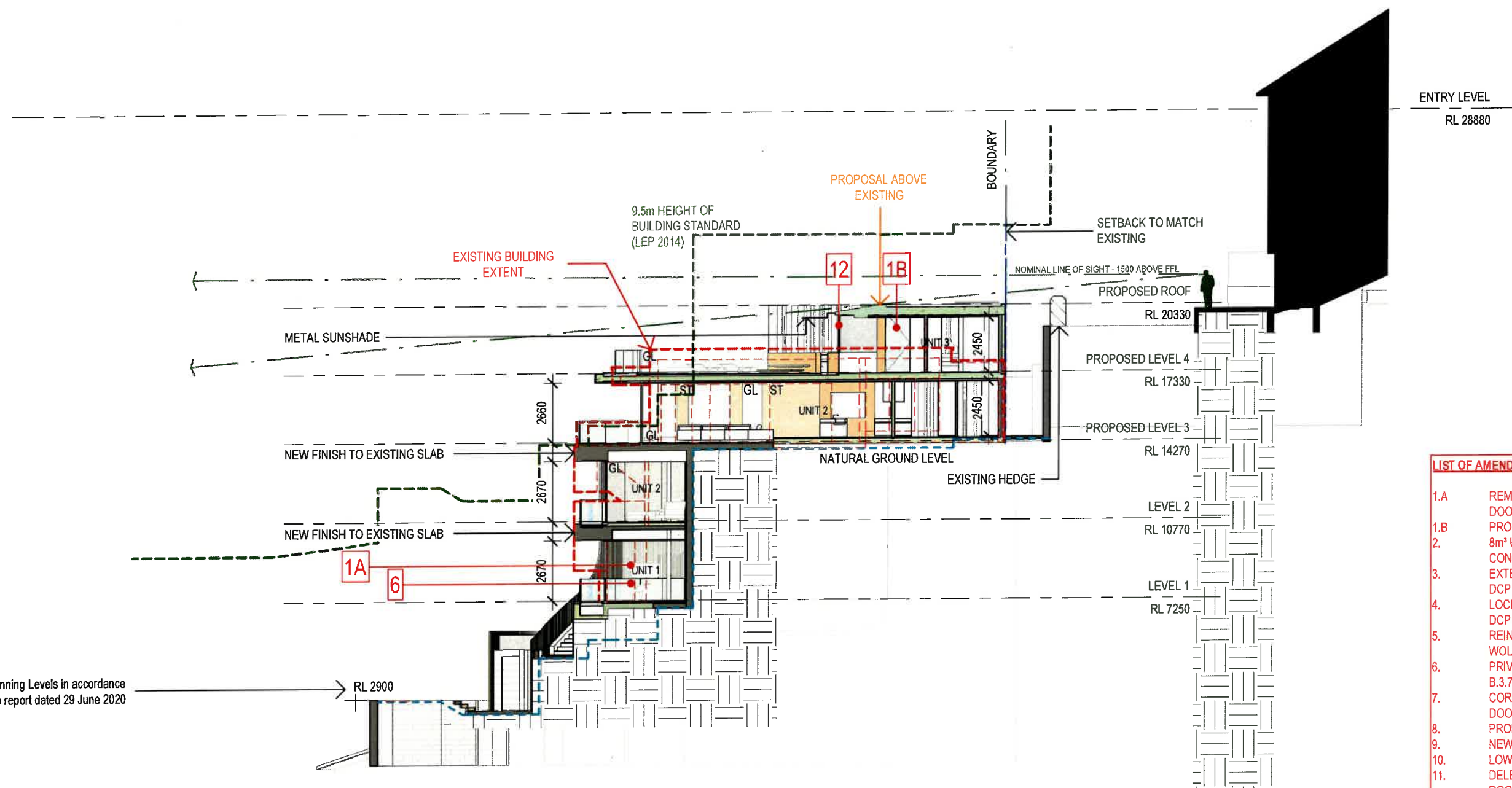
MATERIALS

■ EXISTING
■ BRICK
■ OFC / CONC - CONCRETE
□ GL - GLASS (F) FIXED (O) OPERABLE
■ MT - METAL
■ ST - STONE
■ TM - TIMBER
■ R+P(D) - RENDER & PAINT DARK
■ R+P(L) - RENDER & PAINT LIGHT



LIST OF AMENDMENTS, 2021/03/05

- 1.A REMOVAL OF PROPOSED DOOR/WINDOW
- 1.B PROPOSED DOORS/WINDOWS
2. 8m³ UNIT STORAGE AS PER DCP CONTROL B.3.7.3 O2
3. EXTERNAL DRYING AREA AS PER DCP B.3.7.3 O3/O4
4. LOCKABLE MAIL BOXES AS PER DCP B.3.7.3 O1
5. REINSTATEMENT OF EXISTING WOLSELEY RD GATE HOUSE.
6. PRIVATE OPEN SPACE AS PER DCP B.3.7.1 O5
7. CORRECT ANNOTATION OF FRONT DOOR TO UNIT 3
8. PROPOSED TRAFFIC MIRROR
9. NEW EXTERNAL STAIR TO UNIT 3
10. LOWER ROOF OF STAIRCASE BY 1m
11. DELETED FEATURE CURVED WALL & ROOF ADJACENT TO LIFT & STAIR
12. DELETED FEATURE WALL. GLAZING & ROOF LINE MOVED BACK
13. DRIVEWAY WIDENED



AA SECTION AA
1:200

- LIST OF AMENDMENTS, 2021/03/05**
- 1.A REMOVAL OF PROPOSED DOOR/WINDOW
 - 1.B PROPOSED DOORS/WINDOWS
 2. 8m² UNIT STORAGE AS PER DCP CONTROL B.3.7.3 O2
 3. EXTERNAL DRYING AREA AS PER DCP B.3.7.3 O3/O4
 4. LOCKABLE MAIL BOXES AS PER DCP B.3.7.3 O1
 5. REINSTATEMENT OF EXISTING WOLSELEY RD GATE HOUSE, PRIVATE OPEN SPACE AS PER DCP B.3.7.1 O5
 7. CORRECT ANNOTATION OF FRONT DOOR TO UNIT 3
 8. PROPOSED TRAFFIC MIRROR
 9. NEW EXTERNAL STAIR TO UNIT 3
 10. LOWER ROOF OF STAIRCASE BY 1m
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 12. DELETED FEATURE WALL, GLAZING & ROOF LINE MOVED BACK
 13. DRIVEWAY WIDENED



KEY

- BUILDING ENVELOPE
- DEMOLITION OF EXISTING
- LEP HEIGHT PLANE
- NATURAL GROUND LEVEL
- BOUNDARY

MATERIALS

- EXISTING
- BRICK
- OFC / CONC - CONCRETE
- GL - GLASS (F) FIXED (O) OPERABLE
- MT - METAL
- ST - STONE
- TM - TIMBER
- R+P(D) - RENDER & PAINT DARK
- R+P(L) - RENDER & PAINT LIGHT

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DEVELOPMENT APPLICATION SECTION - AA

GENERAL NOTES

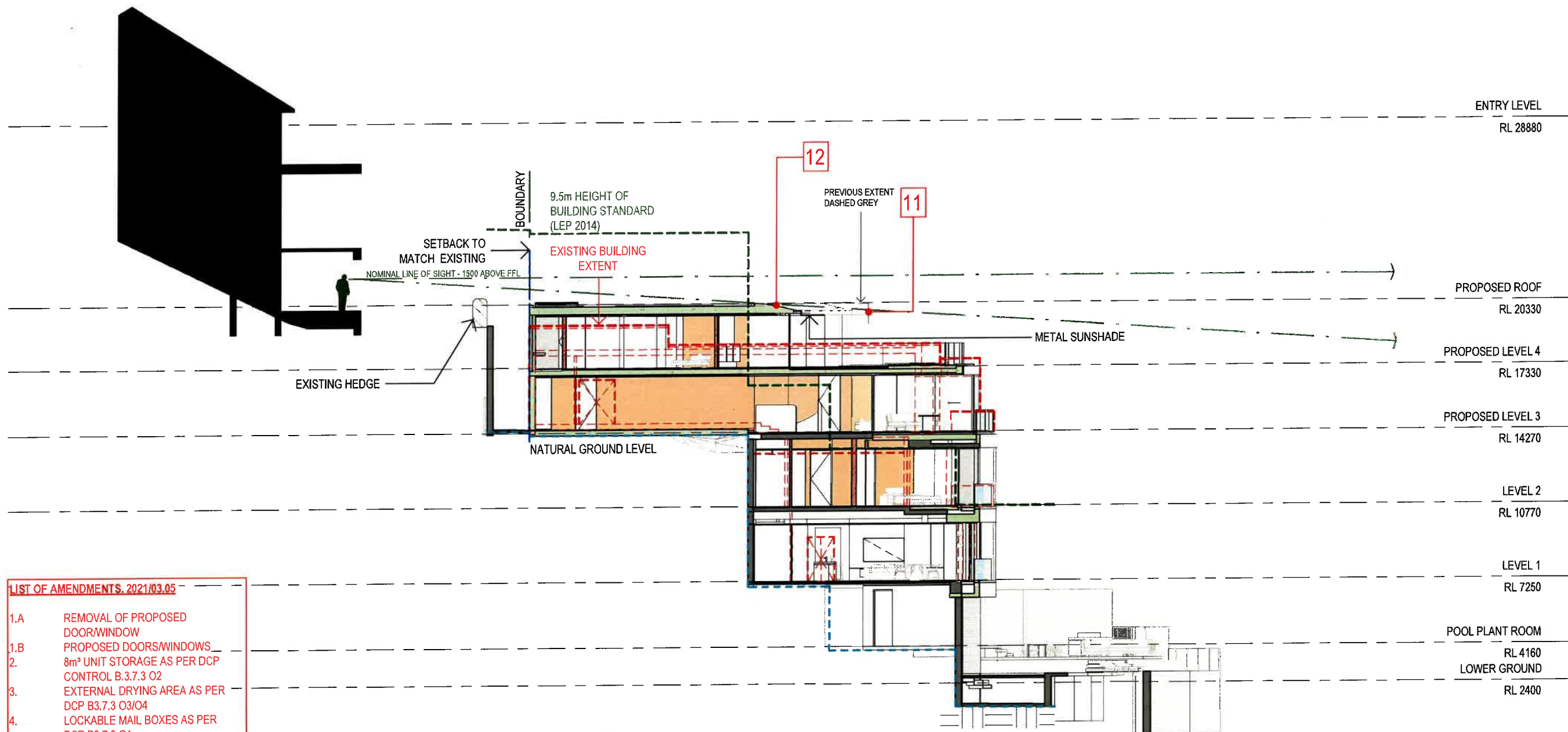
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ACN 097664527 | Nom. Architect: Bruce Stafford - 7155

PROJECT
50 WOLSELEY ROAD POINT PIPER

DRAWING
SECTION - AA

PROJECT NO. 181
STAGE DA321
DWG NO. C
REV

Drawn: JM
Scale: 1:200 @A3
Checked: CT/BS
Date: 2021/03/05



- LIST OF AMENDMENTS, 2021/03/05**
- 1.A REMOVAL OF PROPOSED DOOR/WINDOW
 - 1.B PROPOSED DOORS/WINDOWS
 2. 8m³ UNIT STORAGE AS PER DCP CONTROL B.3.7.3 O2
 3. EXTERNAL DRYING AREA AS PER DCP B.3.7.3 O3/O4
 4. LOCKABLE MAIL BOXES AS PER DCP B.3.7.3 O1
 5. REINSTATEMENT OF EXISTING WOLSELEY RD GATE HOUSE, PRIVATE OPEN SPACE AS PER DCP B.3.7.1 O5
 6. CORRECT ANNOTATION OF FRONT DOOR TO UNIT 3
 7. PROPOSED TRAFFIC MIRROR
 8. NEW EXTERNAL STAIR TO UNIT 3
 9. LOWER ROOF OF STAIRCASE BY 1m
 10. DELETED FEATURE CURVED WALL & ROOF ADJACENT TO LIFT & STAIR
 11. DELETED FEATURE WALL, GLAZING & ROOF LINE MOVED BACK
 12. DRIVEWAY WIDENED
 - 13.



KEY

- BUILDING ENVELOPE
- DEMOLITION OF EXISTING
- LEP HEIGHT PLANE
- NATURAL GROUND LEVEL
- BOUNDARY

MATERIALS

- EXISTING
- BRICK
- OFC / CONC - CONCRETE
- GL - GLASS (F) FIXED (O) OPERABLE
- MT - METAL
- ST - STONE
- TM - TIMBER
- R+P(D) - RENDER & PAINT DARK
- R+P(L) - RENDER & PAINT LIGHT

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DEVELOPMENT APPLICATION
SECTION - BB

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PROJECT
50 WOLSELEY ROAD POINT PIPER
DRAWING
SECTION - BB

PROJECT NO. 181
STAGE DWG NO. DA322
REV A
Drawn: JM
Checked: BS
Scale: 1 : 200 @A3
Date: 2021/03/05